

# The Preserve

## Architectural Control Checklist

Owners' Names: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Property Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Lot#: \_\_\_\_\_

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New home construction in **The Preserve** is subject to stringent architectural control. Prior to construction commencement, the **Architectural Control Committee** must approve the overall plan for construction.

Required information, as well as certain minimum standards, is outlined in the following pages. This checklist should be attached with your package along with two (2) sets of plans when submitted.

Your request may be submitted by you, or your representative, to the **ACC** c/o C. Jeff Stroud, AIA Architect at 1711 Woodcreek Farms Road, Elgin, SC 29045. The review fee of \$1000.00 is due with your submission. You should be notified of the results within two (2) weeks of the date of submittal.

If changes are required, they will be noted on your plans. One set of plans along with a letter outlining any required changes will be returned to you. The second set of plans will be retained by the **ACC**. Any required changes must be incorporated on the plans prior to being re-submitted.

If there are no changes required, the Architectural Control Checklist will be signed and returned to you as final approval for construction. The **ACC** will retain the final approved set of plans for field verification use.

### **CONSTRUCTION CANNOT COMMENCE PRIOR TO FINAL APPROVAL.**

It is the recommendation of the **ACC** that you use a qualified designer, draftsman or architect to prepare your plans.

## Checklist

1. **Site Plan:** (1" = 20' scale) Plan is to show boundary lines of lot, footprint of house, porches, decks, accessory structures, etc., driveways, walks and patios, and dimensions showing front, side and rear setbacks from structures. Indicate and dimension any required "no-clear" and natural buffer areas and depict any hardwood trees (including all dogwoods) that are at least 6 inches in caliper and measured at least 2 feet above ground level to include all distinctive flora.

\_\_\_\_\_ Site Plan                      Approved / Disapproved / Pending

2. **Floor Plan:** Plans are to be dimensioned working drawings for construction and are to include heated and gross square footage.

\_\_\_\_\_ Floor Plans                      Approved / Disapproved / Pending

3. **Elevations:** Front, rear and both side elevations depicting exterior design, material designations, roof pitches, cornice details, column sizes and details, jack arches, window and door surround details, decks, terraces and railing, etc. with appropriate dimensions and notes.

\_\_\_\_\_ Elevations                      Approved / Disapproved / Pending

4. **Wall Sections:** ( $\frac{3}{4}$ " = 1'-0" scale) Sections showing ceiling heights, window header heights, elevation details, cornice details, roof jacks, etc. with appropriate dimensions and notes. (See *Standard Details Package*)

\_\_\_\_\_ Wall Sections                      Approved / Disapproved / Pending

5. **Roof Plan:** Illustration plan view of roof design showing roof pitches and appropriate notes.

\_\_\_\_\_ Roof Plan                      Approved / Disapproved / Pending

6. **Exterior Color Scheme:** Provide proposed colors or manufacturer's designation for exterior wall material, trim, windows, doors, shutters, accents and shingles.

\_\_\_\_\_ Color Scheme                      Approved / Disapproved / Pending

The submitted Plans for Construction are:

Approved \_\_\_\_\_ Disapproved\* \_\_\_\_\_ Pending\* \_\_\_\_\_

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

**\*See attachment for comments.**

**Note:** The **Architectural Control Committee** reserves the right to amend these guidelines when deemed necessary.

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*Architectural Control Committee*  
*Fee Schedule*

**House Plans:** \$1000.00

Submissions for approval are to include Application for Design Review and Architectural Control checklist to include two (2) sets of construction drawings and all other enumerated exhibits.

**Fences and Pools** (not submitted in the initial set of drawings): \$150.00

All proposed fences and pools must be submitted on a site plan drawn to scale and showing the location of the house, boundaries of the property and details of the improvement.

**Additions and Alterations:** \$250.00

Submissions for approval are to include plan elevations, exterior details and colors and a site plan drawn to scale showing the location of existing structures, proposed additions and boundaries of the property.

**All submissions must include a check payable to:**

C. Jeff Stroud, AIA  
1711 Woodcreek Farms Road  
Elgin, SC 29045  
Phone: (803) 736-1624

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Standard Details

**Exterior:** Exterior of home to be brick, hard-coat stucco, or hardi-plank siding. (No more than three (3) different materials are to be used on one house)

**Roof:** Roofing to be a minimum 35 year architectural shingle

**Ceiling Heights:** Minimum height of 10'-0" first level; 9'-0" additional levels

**Garage Doors:** All garage doors to be designer doors

**Porches:** Porches are encouraged with a minimum depth of 8'-0"

**Shutters:** All shutters to be operable with appropriate shutter hardware. Shutters are to be either paneled or louvered and sized to half of sash width dimension. Shutter to be made of Spanish Cedar, Cypress, Redwood, or a composite material.

**Windows:** All windows to have SDL (Simulated Divided Lite)

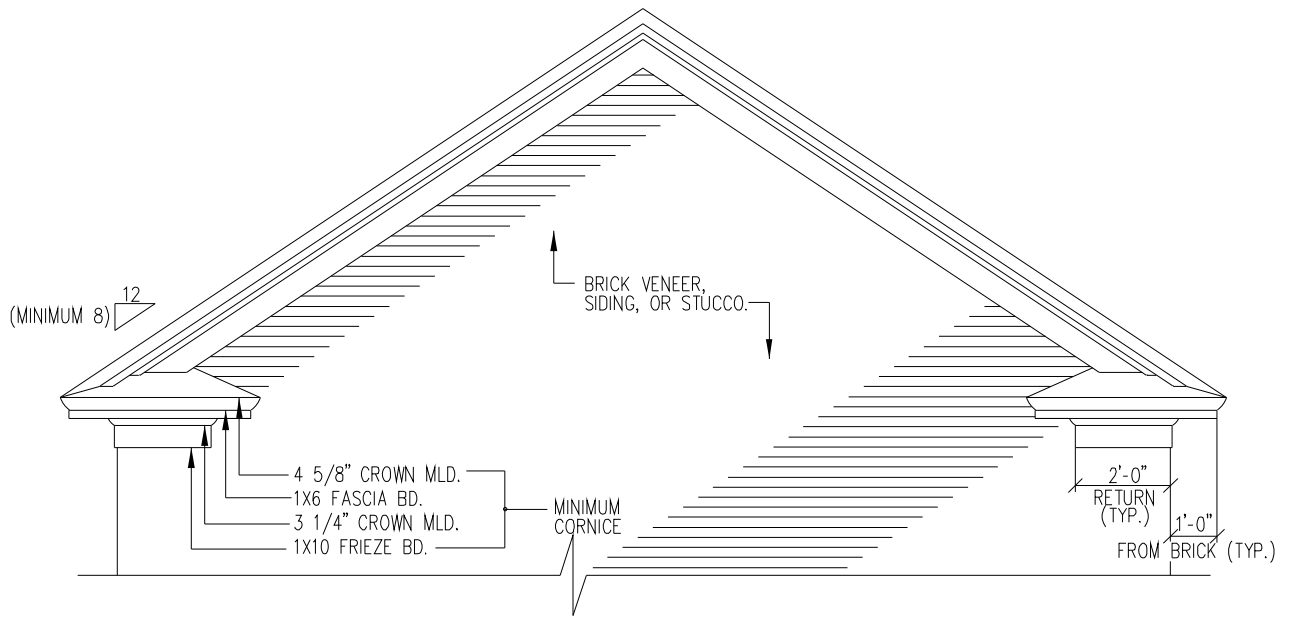
**Foundation Vents:** Foundation vents to be wood

**Cornice Returns:** All returns to be made of copper

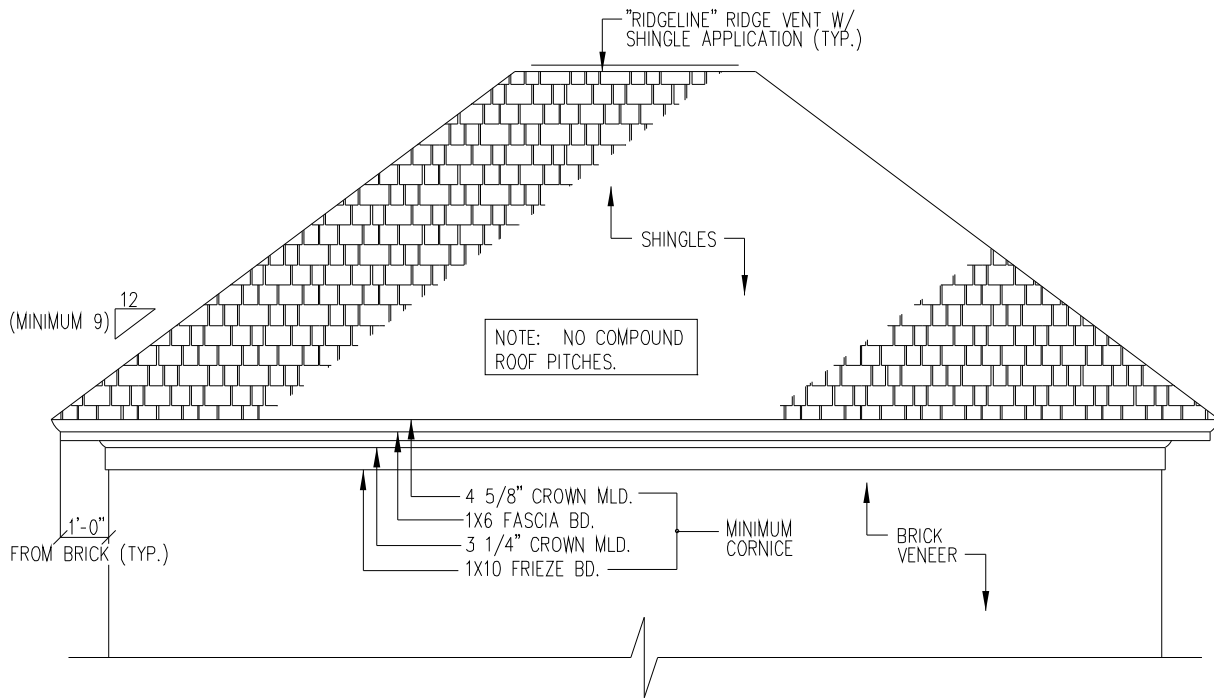
**Brick Veneer:** Brick veneer should be laid as stretcher course all the way to the cornice. NO soldier course at the frieze board.

**Typical Scale for Drawings:** Typical scales for submitted drawing are as follows:

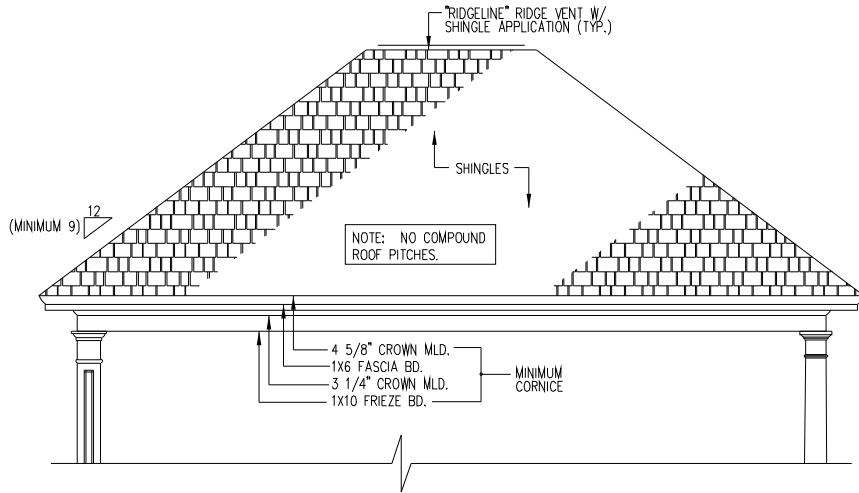
Site Plan.....	1" = 20'-0"
Foundation, Floor Plans, Framing, Elevations, Roof, Electricals .....	1/4" = 1'-0"
Sections and Details .....	3/4" = 1'-0"
Interior Elevations .....	3/8" = 1'-0"



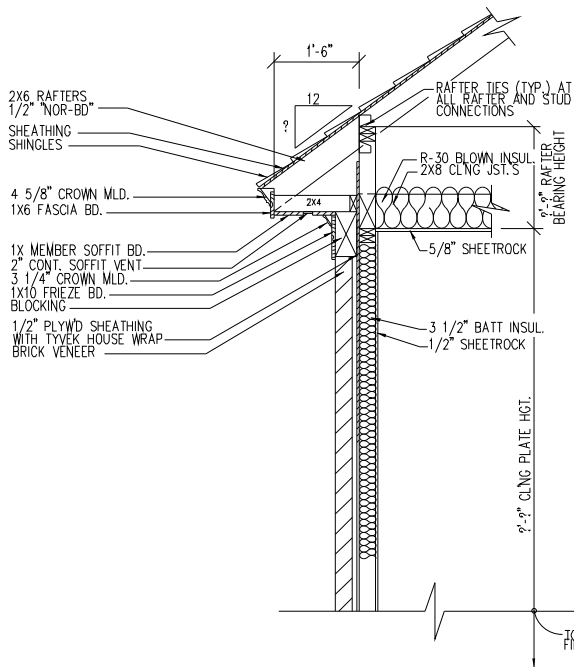
DETAIL AT GABLE ROOF  
(PITCH, CORNICE, OVERHANG, ETC.)



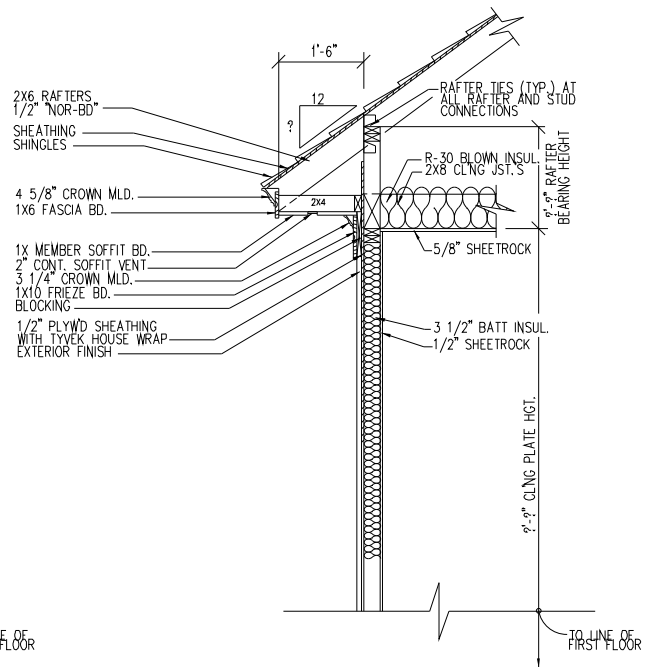
DETAIL AT HIP ROOF  
(PITCH, CORNICE, OVERHANG, ETC.)



COLUMN DETAIL AT PORCH  
(COLUMN/ BEAM RELATIONSHIP)



INFORMATION NEEDED ON BRICK  
WALL SECTION TYPICAL



INFORMATION NEEDED ON STUCCO OR  
SIDING WALL SECTION TYPICAL

