



Architectural Control Checklist

Owners' Names: _____
Mailing Address: _____
Property Address: _____
Telephone: _____
Lot-Block: _____

New home construction in **The Village at Riverwalk** is subject to stringent architectural control. Prior to construction commencement, the **Architectural Review Board** must approve the overall plan for construction.

Required information, as well as certain minimum standards, is outlined in the following pages. This checklist should be attached with your package along with two (2) sets of plans when submitted.

Your request may be submitted by you, or your representative, to the **ARB** c/o C. Jeff Stroud, AIA Architect at 1711 Woodcreek Farms Road, Elgin, SC 29045. The review fee of \$750.00 is due with your submission. You should be notified of the results within two (2) weeks of the date of submittal.

If changes are required, they will be noted on your plans. One set of plans along with a letter outlining any required changes will be returned to you. The second set of plans will be retained by the **ARB**. Any required changes must be incorporated on the plans prior to being re-submitted.

If there are no changes required, the Architectural Control Checklist will be signed and returned to you as final approval for construction. The **ARB** will retain the final approved set of plans for field verification use.

CONSTRUCTION CANNOT COMMENCE PRIOR TO FINAL APPROVAL.

It is the recommendation of the **ARB** that you use a qualified designer, draftsman or architect to prepare your plans.

Checklist

1. **Site Plan:** (1" = 20' scale) Plan is to show boundary lines of lot, footprint of house, porches, decks, accessory structures, etc., driveways, walks and patios, and dimensions showing front, side and rear setbacks from structures. Indicate and dimension any required "no-clear" and natural buffer areas and depict any hardwood trees (including all dogwoods) that are at least 8 inches in caliper and at least 3 feet in height.

_____ Site Plan Approved / Disapproved / Pending

2. **Floor Plan:** Plans are to be dimensioned working drawings for construction and are to include heated and gross square footage.

_____ Floor Plans Approved / Disapproved / Pending

3. **Elevations:** Front, rear and both side elevations depicting exterior design, material designations, roof pitches, cornice details, column sizes and details, jack arches, window and door surround details, decks, terraces and railing, etc. with appropriate dimensions and notes.

_____ Elevations Approved / Disapproved / Pending

4. **Wall Sections:** ($\frac{3}{4}$ " = 1'-0" scale) Sections showing ceiling heights, window header heights, elevation details, cornice details, roof jacks, etc. with appropriate dimensions and notes. (See *Standard Details Package*)

_____ Wall Sections Approved / Disapproved / Pending

5. **Roof Plan:** Illustration plan view of roof design showing roof pitches and appropriate notes.

_____ Roof Plan Approved / Disapproved / Pending

6. **Exterior Color Scheme:** Provide proposed colors or manufacturer's designation for exterior wall material, trim, windows, doors, shutters, accents and shingles.

_____ Color Scheme Approved / Disapproved / Pending

The submitted Plans for Construction are:

Approved _____ Disapproved* _____ Pending* _____

Signature

Date

***See attachment for comments.**

Note: The **Architectural Review Board** reserves the right to amend these guidelines when deemed necessary.

Important Notice

Prior to commencement of any clearing activity on your lot, make certain that you and your contractor have thoroughly reviewed **Exhibit "A", Landscape Guidelines of The Village at Riverwalk Design Standards**. Violation of these guidelines may require replacement of shrubbery and/or trees.

Architectural Review Board
Fee Schedule

House Plans: \$750.00

Submissions for approval are to include Application for Design Review and Architectural Control checklist to include two (2) sets of construction drawings and all other enumerated exhibits.

Fences and Pools: \$150.00

All proposed fences and pools must be submitted on a site plan drawn to scale and showing the location of the house, boundaries of the property and details of the improvement. Several pre-approved fencing details are included in this package.

Additions and Alterations: \$250.00

Submissions for approval are to include plan elevations, exterior details and colors and a site plan drawn to scale showing the location of existing structures, proposed additions and boundaries of the property.

All submissions must include a check payable to:

C. Jeff Stroud, AIA
1711 Woodcreek Farms Road
Elgin, SC 29045
Phone: (803) 736-1624

Landscape Plans: \$250.00

Re-review fee (for additional landscape improvements later): \$150.00

Plans for approval are to be submitted no later than 30 days prior to occupancy. Plans shall include all items enumerated in **The Village at Riverwalk Design Standards**.

All landscape plan submissions must include a check payable to:

Rebecca M. Looney & Associates, Inc.
6169 St. Andrews Rd., #297
Columbia, SC 29212
Phone: (803) 781-8028



Standard Details

Exterior: Exterior of home to be brick, stucco, or hardi-plank siding.

Roof: Roofing to be a minimum 35 year architectural shingle

Square Footage: House to be a minimum of 2500 heated sq. ft.

Garage Doors: All garage doors to be designer doors

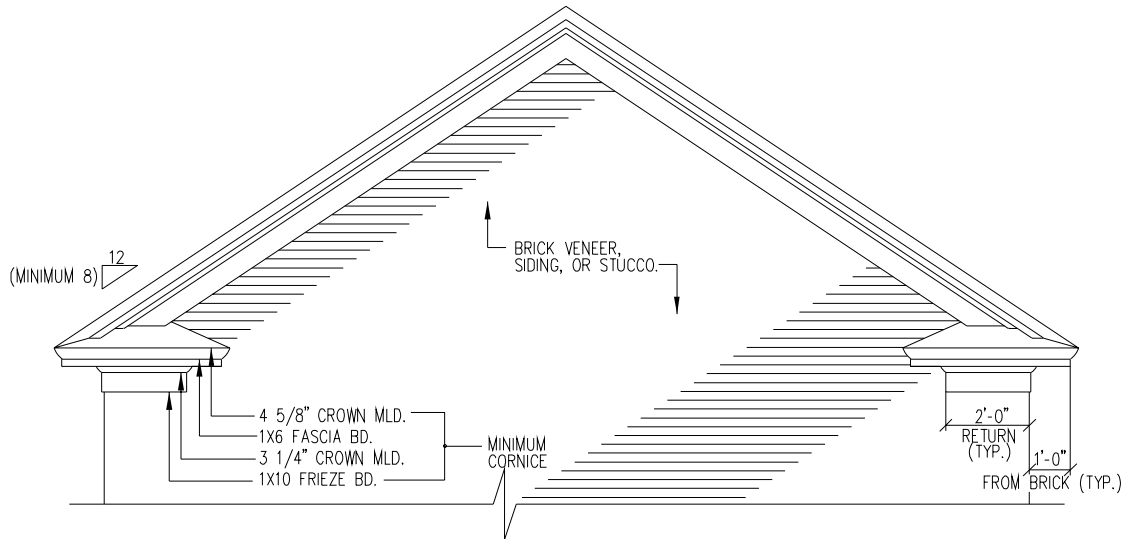
Typical Scale for Drawings: Typical scales for submitted drawing are as follows:

Site Plan 1" = 20'-0"

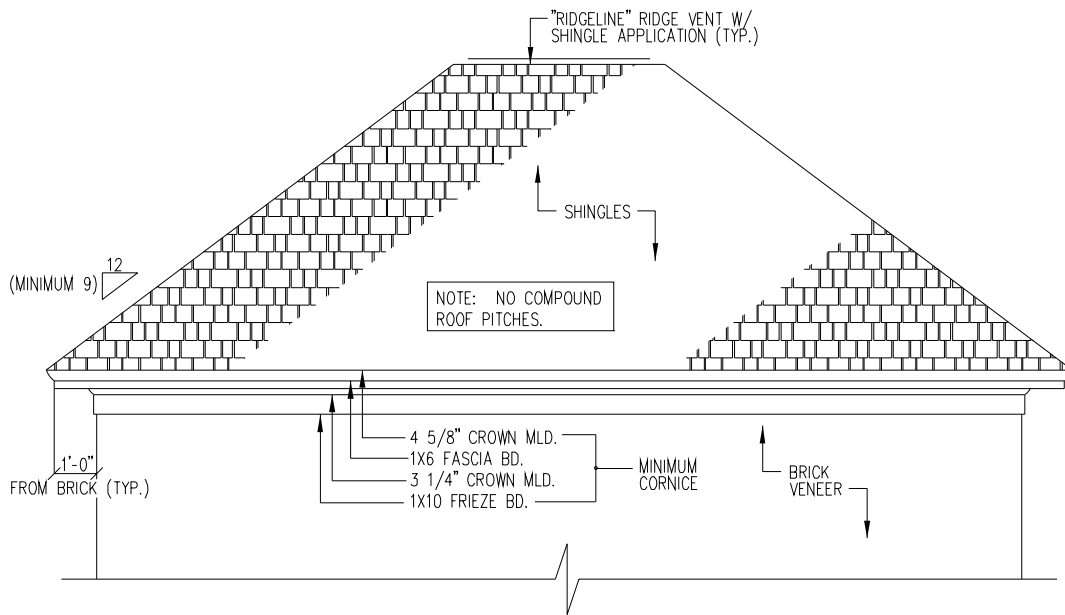
Foundation, Floor Plans, Framing,
Elevations, Roof, Electricals..... 1/4" = 1'-0"

Sections and Details 3/4" = 1'-0"

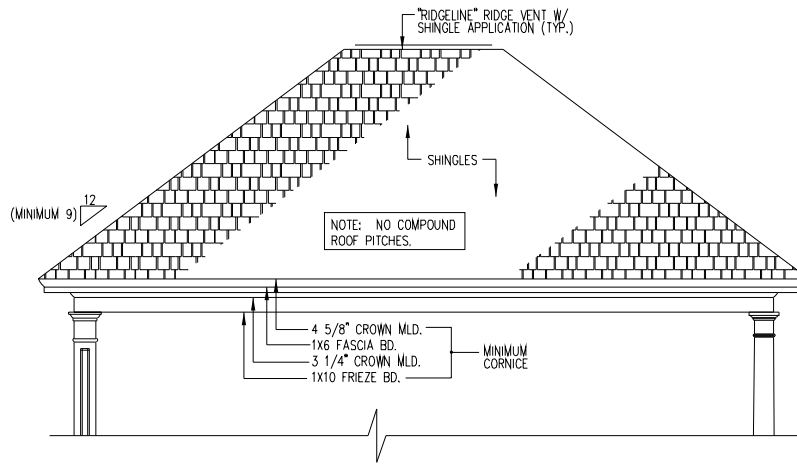
Interior Elevations..... 3/8" = 1'-0"



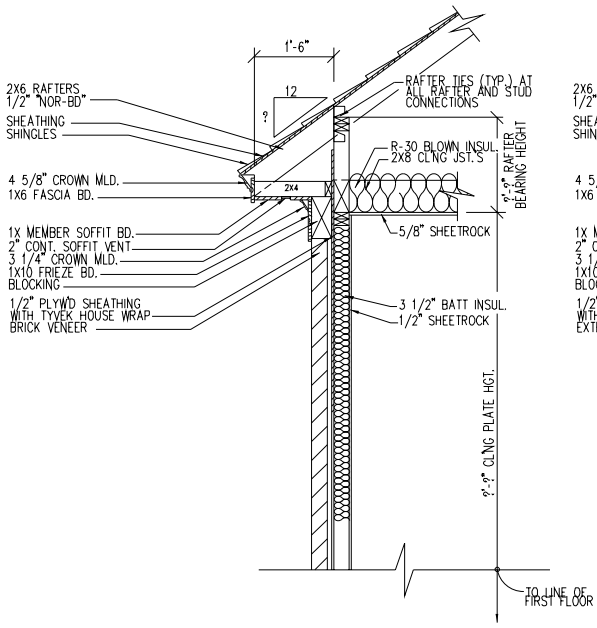
DETAIL AT GABLE ROOF
(PITCH, CORNICE, OVERHANG, ETC.)



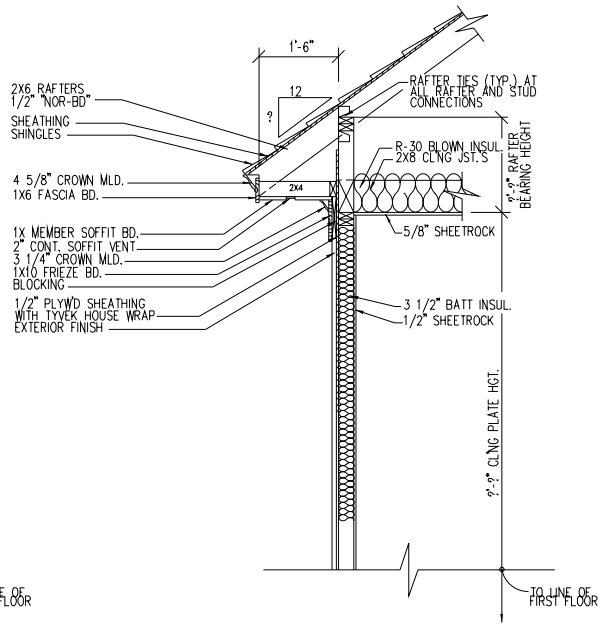
DETAIL AT HIP ROOF
(PITCH, CORNICE, OVERHANG, ETC.)



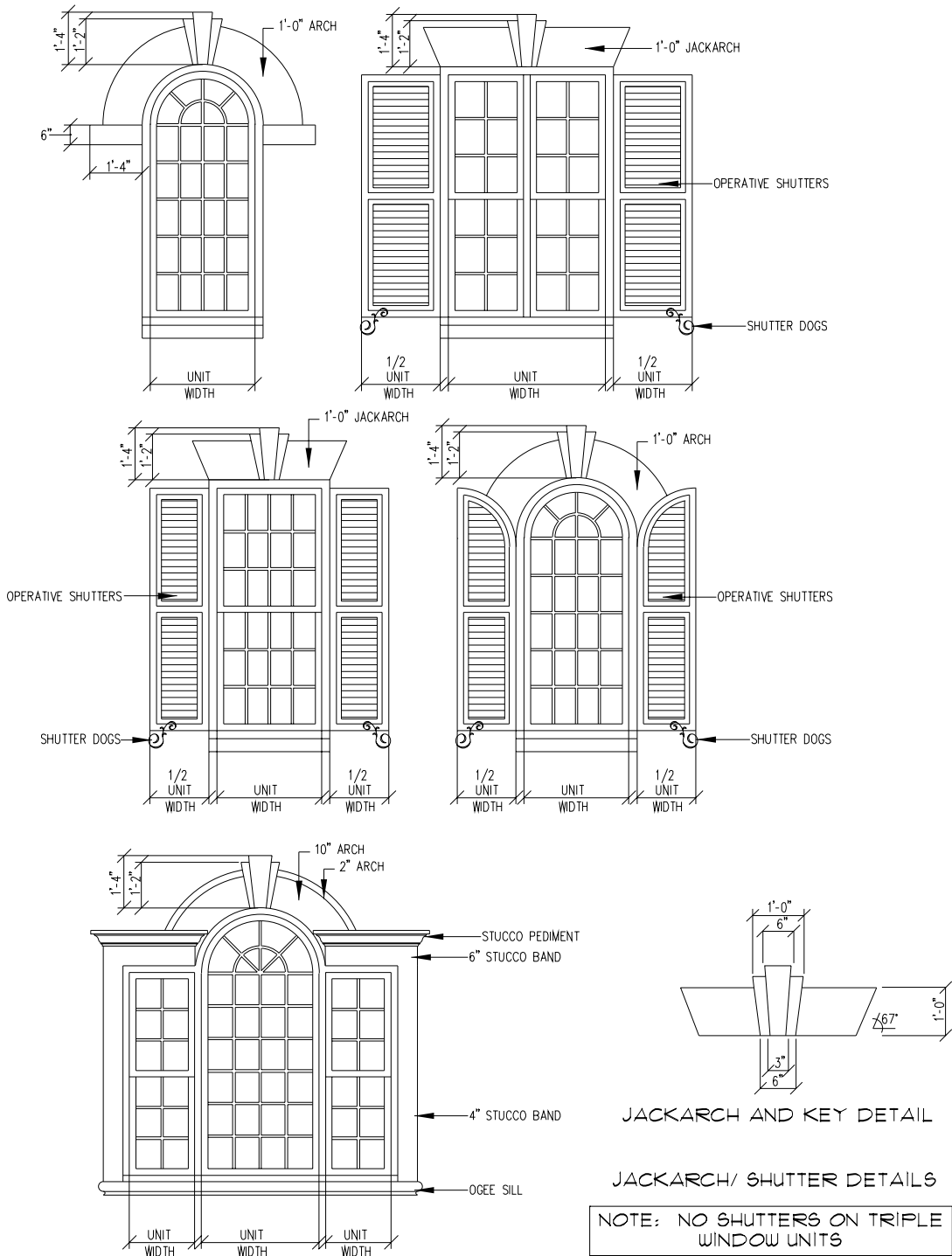
COLUMN DETAIL AT PORCH
(COLUMN/ BEAM RELATIONSHIP)

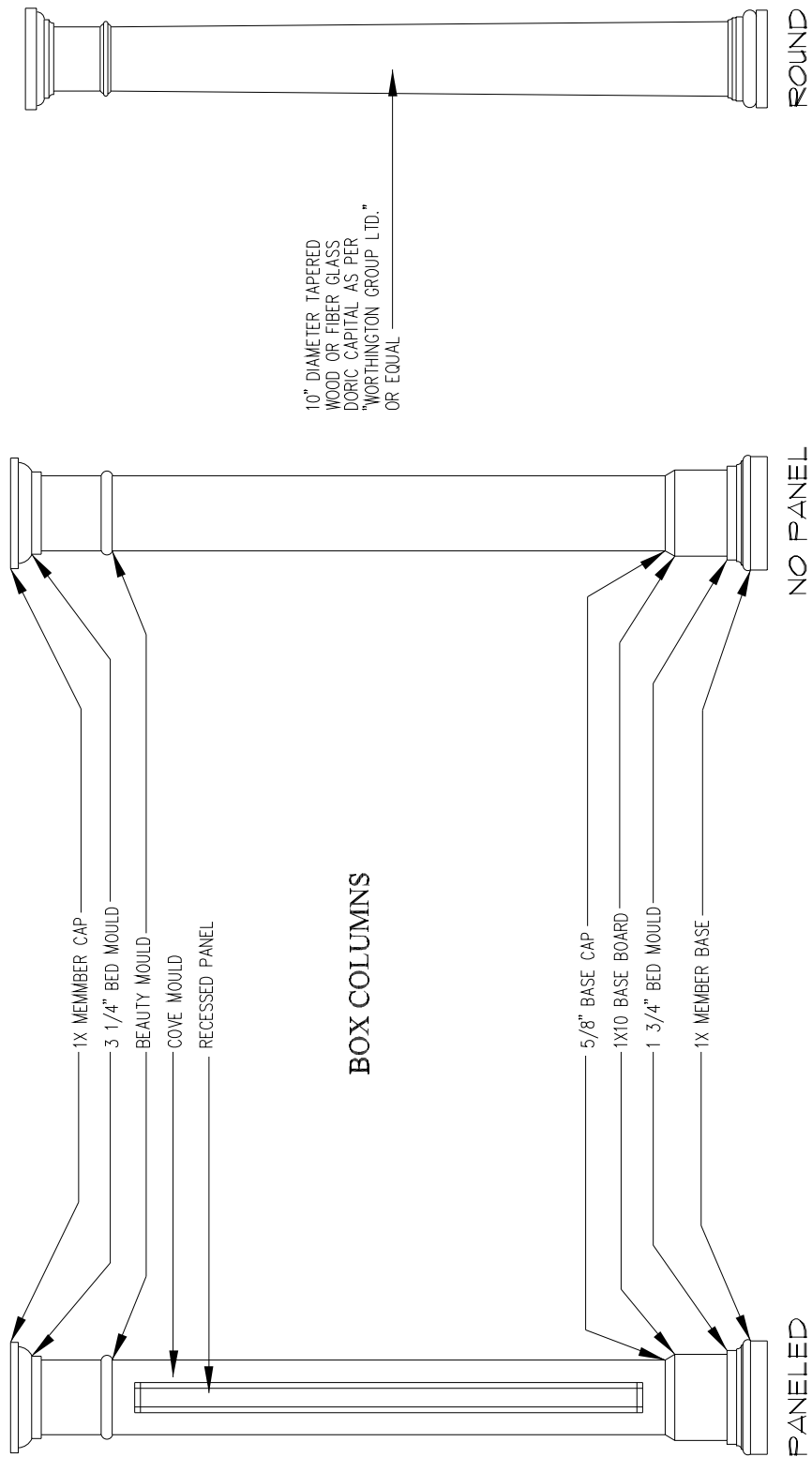


INFORMATION NEEDED ON BRICK
WALL SECTION TYPICAL



INFORMATION NEEDED ON STUCCO OR
SIDING WALL SECTION TYPICAL





COLUMN DETAIL

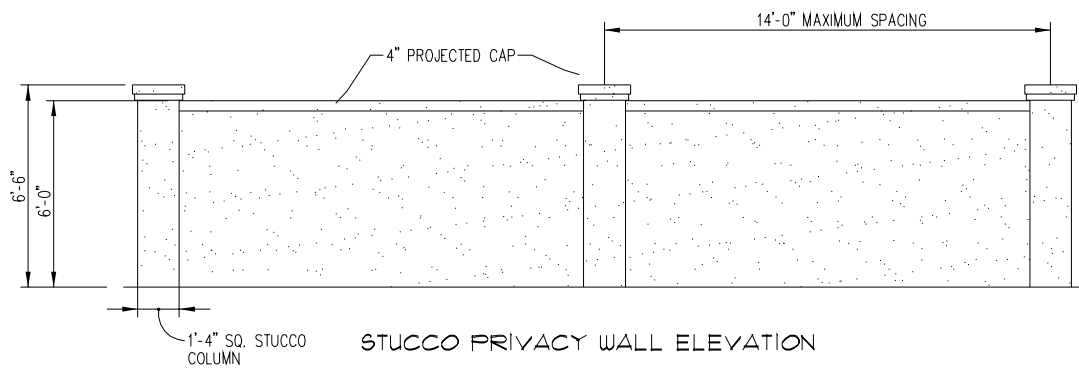
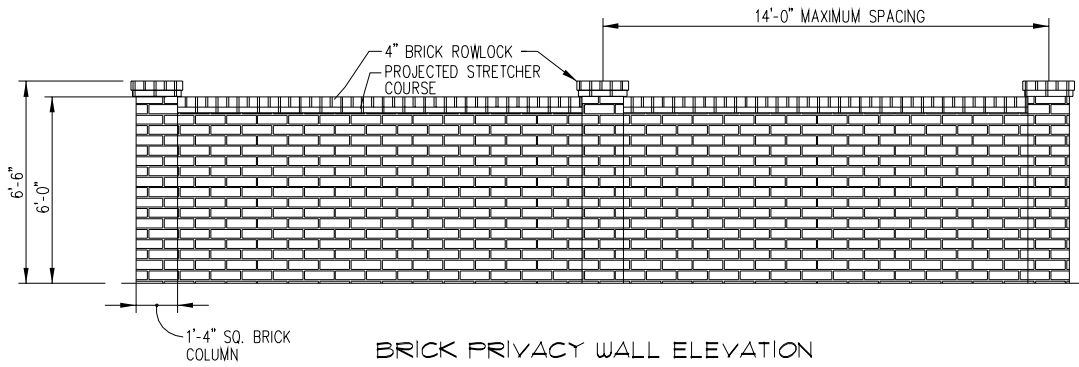
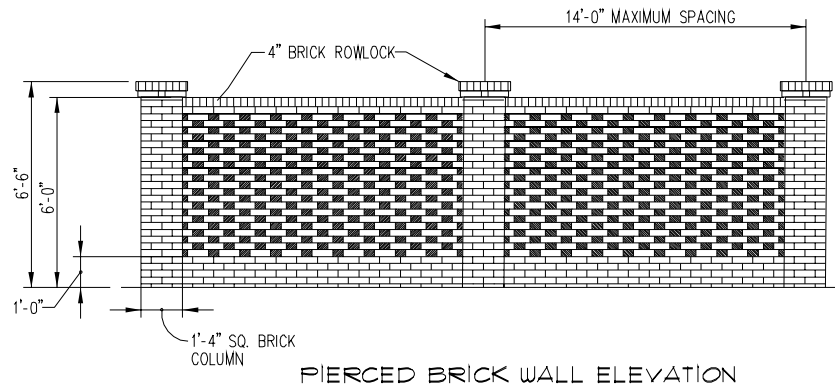
Fence Requirements
(Enclosure of Entire Yard)

1. Several approved plans for fencing are illustrated on page . A plat denoting the placement of the fence shall be submitted to the **ARB** for approval.
2. The height of the fence is to be 4'-6'.
3. All fencing is to be wrought iron or equivalent, or stucco or brick materials only and is to be approved by the **ARB**.

No wooden fences are permitted.

4. 16" x 16" columns with two corbels shall be positioned on the lot corners. Intermittent columns may also be required. The architectural review board shall determine column spacing. The façade of the columns shall match the home (i.e., stucco or brick).
5. All gate(s) shall be compatible to that of the fence.
6. Owner accepts all responsibility and perpetual maintenance of fencing.

ALL FENCING MUST BE APPROVED BY ARB.
ARB HAS RIGHT TO REFUSE ANY FENCING PLANS SUBMITTED.



Landscaping

1. All plantings shall be irrigated with a below ground fully automated sprinkler system.
2. All areas on lot not designated as planting beds, paving or structures shall be sodded. That includes front, back and side yards. No hydroseeding is allowed. Sod shall be centipede grass or zoysia.
3. Mulch to be pine straw, pine bark mulch or hardwood mulch. No shredded bark, synthetic mulch or Eucalyptus mulch is allowed. No gravel, lava rock or stone is allowed for mulch. Large expanses of mulch without any plantings will not be acceptable.
4. Foundation plantings for front and side yards shall be required to be completed within time frame stated. Minimum tree and shrub sizes are as follows:

Backrow foundation plantings	7 gallon size
2 nd row foundation plantings or accent plants	1 or 3 gallon size
Corner or anchor foundation shrubs	10 or 15 gallon size
Groundcover or perennials	1 gallon size
Understory trees	6' height
Shade trees	2" Caliper

No trees are to be planted in locations that would significantly hinder sight lines to river.
5. Landscape architect has right to make recommendations on varieties and will look for substantial quantity of foundation plantings to be evergreen. Plant selection should create blend of plantings with varying textures and heights.
6. No plantings are allowed in grass strip between back of curb and sidewalk. Due to safety concerns, no plantings shall be allowed that block site lines to driveways or sidewalks.
7. Uplighting of trees are allowed as long as illumination does not affect areas beyond owner's property lines. No colored lights shall be acceptable.
8. View of garbage cans from road shall be blocked by either fencing or plant material. Method of screening to be submitted at time of landscape review.
9. Any outside landscape elements to be painted shall have paint color approved prior to application.
10. Any garden elements to be placed in front yard such as figurines, banners, bird feeders, shall require approval.
11. No plastic or extruded concrete curbing is allowed. Only edging that is brick or recessed steel is allowed.
12. Do not prune community planted street trees.
13. It is recommended that crapemyrtles not be pruned, as this is not a desirable horticultural practice.

14. Minimum requirement for backyard is to sod all areas not designated as planting beds or improvements. All structural improvements such as patios, decks, gazebos, etc. are to be approved by landscape architect prior to installation. Materials and color selection shall be submitted along with plans to scale.
15. It is expected that normal maintenance of edging, mowing, pruning, weeding, and mulching be done on a regular basis to maintain a neat and attractive appearance throughout the year.

16. Mailboxes must be the approved cast iron “Large Vicksburg” which can be found here:
<http://gasproductscompany.com/mailboxes/>.
Picture shown to the right.



Landscape and irrigation plans shall be submitted for approval no less than 30 days in advance of date of occupancy with all required landscaping to be installed with 60 days of occupancy. Submit 3 sets of plans at a minimum scale of 1" = 20'-0". Landscape plan shall show all improvements proposed. Plans shall include date, lot number, name of owner, name of landscape designer/architect along with address and phone number for each. Review and response shall be completed within 14 days from date of receipt of information. All plans to include site plan to scale with house accurately located and house elevations. Plant material schedule shall include Botanical/Common name, quantity and size. Irrigation plan to indicate head quantity and spacing, valve locations and control panel location. Accent lighting plans to be submitted indicating light units, quantities, location and lamp wattage.

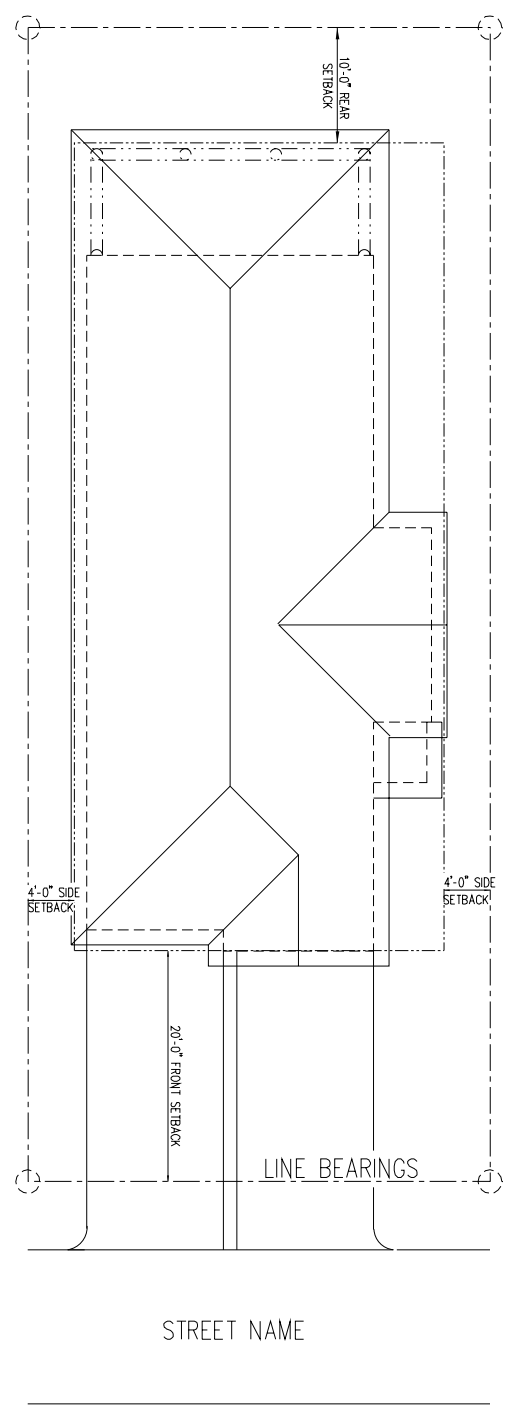
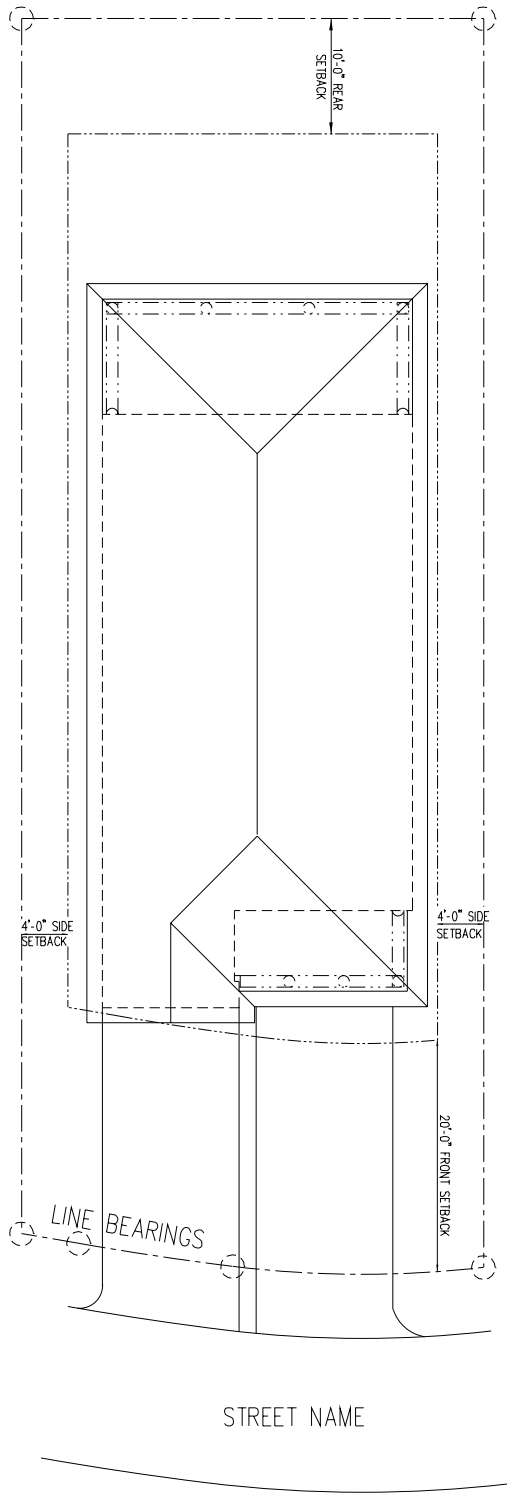
If changes are required, they will be noted on your plans. One set of plans along with a letter outlining any required changes will be returned to you. The second set of plans will be retained by the **ARB**. Any required changes must be incorporated on the plans prior to being re-submitted.

If there are no changes required, the Architectural Control Checklist will be signed and returned to you as final approval for construction. The **ARB** will retain the final approved set of plans for field verification use.

IMPORTANT... DO NOT START LANDSCAPE INSTALLATION PRIOR TO WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.

All landscape plan submissions must include a check payable to:

Rebecca M. Looney & Associates, Inc.
6169 St. Andrews Rd., #297
Columbia, SC 29212
Phone: (803) 781-8028
(See Fee Schedule, page 4)



INFORMATION NEEDED ON
SITE PLANS