

Woodlake

Design Guidelines

Columbia, South Carolina

Contact Information

For questions or concerns regarding the restrictions in Woodlake, please contact the appropriate person below:

Jeff Stroud (cjs-arch@bellsouth.net)

or **Edward Ballard-Sholly** (e.sholly.stroud@gmail.com)

C. Jeff Stroud, AIA Architect, Inc.

1711 Woodcreek Farms Road – Suite C

Elgin SC 29045

803-736-1624

CJeffStroud.com

Fee Schedule

There are fees associated with the various types of plan review in Woodlake. These fees are due upon submittal of plans. Plans will not be accepted without a check for the appropriate review fee. The fees are as follows:

Project Classification	Project Reviewing and Approval	Fee
Awning	ACC	No Fee
Color Scheme Change	ACC	No Fee
Deck/Patio/Pergola/Gazebo	Architect Review & Comment ACC	\$100*
Driveway Modifications	Architect Review & Comment ACC	\$150*
Fence	ACC	No Fee
Gutters	ACC	No Fee
Retaining Walls/ Hardscape Sculptures	Architect Review & Comment ACC	\$150*
Home Addition	Architect Review & Comment ACC	\$200*
Tree removal	ACC	No Fee
Mailboxes	ACC	No Fee
Major Landscaping	ACC	No Fee
New Home Construction	Architect Review & Comment ACC	\$550*
Pool & Pool Deck	Architect Review & Comment ACC	\$150*
Roof Replacement	ACC	No Fee
Satellite Dish	ACC	No Fee
Solar Panels	Architect Review & Comment ACC	\$100*
Well Placement for Irrigation	ACC	No Fee
Window Replacement	ACC**	No Fee**

- * Make checks payable to "C. Jeff Stroud AIA, Inc."
- **No fee if replacing windows with exact same style as existing windows – contact ACC if remodeling.

Woodlake Construction Package (New Homes and Additions)

New home construction and additions in Woodlake is subject to strict architectural control. Prior to construction and any disturbance to the lot, the overall plan for construction must be approved by the Architectural Control Committee (ACC). The ACC meets every two weeks, and you will be notified of the results of the meeting. Information needed as well as certain minimum standard are outlined in this package. Plan approval is subject to a licensed builder as stated in the Woodlake Declaration of Covenants, Conditions, and Restrictions.

Listed below are the steps, procedure and contacts for new construction:

1. Builder receives from representative of Woodlake Architectural Control Committee, Woodlake management company, or Woodlake Architect the following items:
 - a. Application for Architectural Design Review
 - b. Architectural Control Checklist
 - c. Architectural Standard Details
 - d. Standard Fence Details - Enclosure of a Large Portion of the Back Yard
 - e. Typical Landscaping Minimum Requirements
 - f. Pages from Woodlake Covenants pertaining to new construction

2. Submissions containing the items in the Woodlake Architectural Control Checklist are to be submitted VIA CERTIFIED MAIL-RETURN RECEIPT REQUESTED. ALL ITEMS ON THE WOODLAKE ARCHITECTURAL CHECKLIST MUST BE INCLUDED BEFORE A SUBMISSION WILL BE CONSIDERED FOR APPROVAL. It is highly recommended that you use a qualified architect or draftsman for your plans.

3. Items should be delivered or mailed by certified mail to:

C. Jeff Stroud, AIA Architect, Inc.
1711 Woodcreek Farms Road – Suite C
Elgin, SC 29045

Upon submission, the ACC will advise of any changes and further steps necessary to proceed.

4. Once submitted plans are complete and acceptable, a letter of approval will be written to the owner. One copy of the submitted plans will be retained by the Woodlake ACC and/or the Woodlake Architect.

5. The owner may notify the builder and construction may begin.

6. Builder must contact the Woodlake Architect, before closing for inspection and final approval (to be noted on Woodlake Architectural Control Checklist).

Application for Architectural Design Review

Please fill out the following application, and include it in your submission to the Woodlake Architect:

Full Name: _____

Mailing Address: _____

City: _____ **State:** _____ **Zip:** _____

Home #: (____)____-____ **Cell #:** (____)____-____

Work #: (____)____-____ **Fax #:** (____)____-____

Other #: (____)____-____ **type:** _____

Email: _____

Property Address: _____

Property Lot #: _____ **Property Section #:** _____

Builder Name: _____ **Builder Phone #:** (____)____-____

Builder License #: _____

Approval Type (check all that apply):

- New Construction
- Addition
- Fence/Pool Surround
- Hardscaping
- Solar Panel/Green Energy Items

Exterior Colors and Materials (fill out all that apply, samples may be required):

(Please include manufacturer name, and specific type)

Brick: _____ **Roof:** _____

Stucco: _____ **Siding:** _____

Cornice and Trim: _____ **Window Sash:** _____

Other Colors: _____

I agree to follow the Woodlake Design Guidelines, Covenants and Restrictions, and By-Laws.

Signature _____

Architectural Control Checklist

Please follow this checklist when preparing plans to be submitted. Incomplete submissions will not be accepted.

- I. **Review Fee:** See Fee Schedule.
- II. **Application for Architectural Design Review:** Fill out and attach to plans.
- III. **Site Plan (1" = 20'-0" scale):** Plan is to show boundary lines of lot, easements, footprint of house, porches, decks, driveways, walks, and patios. Show front, side, and rear setbacks from structures. Indicate and dimension any required "no-clear" and natural bugger areas and depict any hardwood trees that are 8 inches in caliper and/or 3 feet in height, and any dogwood trees that are 3" in caliper and/or 3 feet in height. Indicate exterior light location and type, location of HVAC units, and trash enclosures, pools, fences, spas, and other recreational equipment.
- IV. **Floor Plans (1/4" = 1'-0" scale):** Plans are to be dimensioned working drawings for construction and are to include heated and gross square footage. Include wall, window, and door dimensions. Provide door and window schedules for exterior doors and windows.
- V. **Elevations (1/4" = 1'-0" scale):** Front, rear, and both side elevations depicting exterior design, material designations, roof, pitches, cornice details, column sizes and details, jack arches, window and door surround details, decks, terraces, and railings, and ceiling heights of each floor with appropriate dimensions and notes.
- VI. **Sections and Details (3/4" = 1'-0" scale):** Sections to show ceiling heights, rafter bearing heights to reflected height shown on submitted elevations, window header heights, elevation details, cornice details, roof jacks and pitch, etc. with appropriate dimensions and notes.
- VII. **Roof Plan (1/4" = 1'-0" scale):** Plan view of roof plan showing roof pitches, king rafters, valleys, chimneys, crickets, and materials.
- VIII. **Exterior Color Scheme:** Put this information in the Application for Architectural Design Review.

The Woodlake Architect may require additional details when it deems necessary.

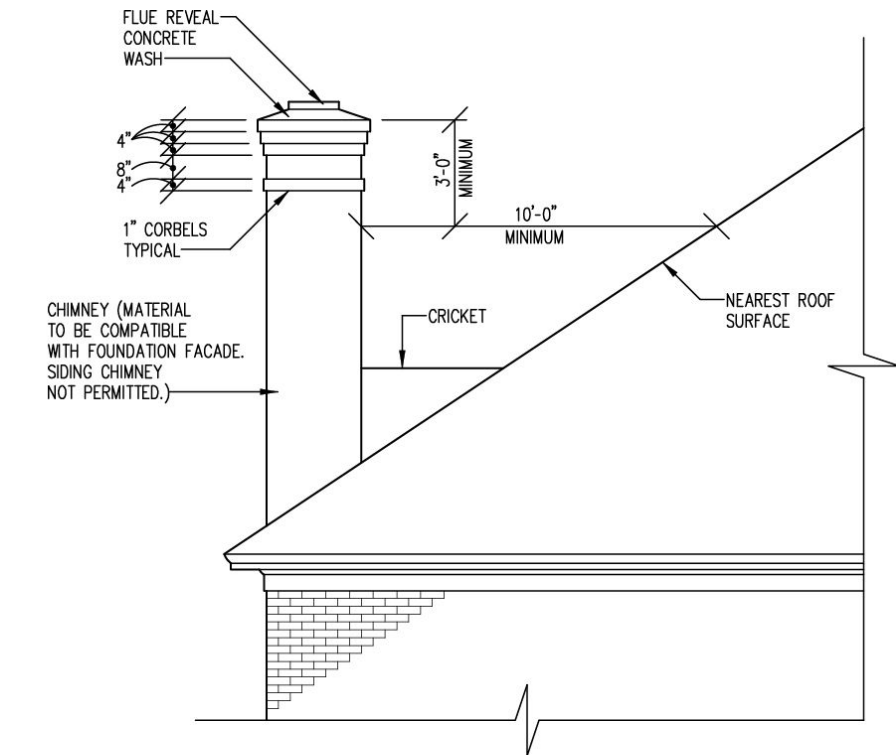
Siding

1. Facade shall be Brick, Stucco, Fiber-cement (James Hardie), or Everlast Composite cladding. Vinyl or aluminum siding is not allowed.

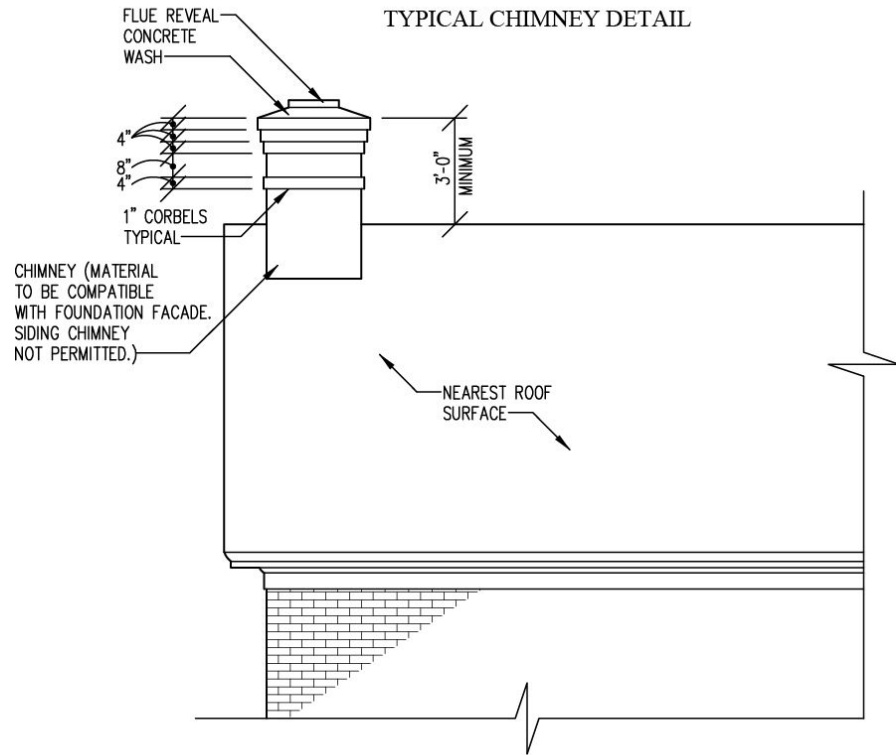
Windows and Soffits

1. For lower maintenance, vinyl clad is approved for replacement or new windows.
2. Fiber cement or composite material may be used for soffits.

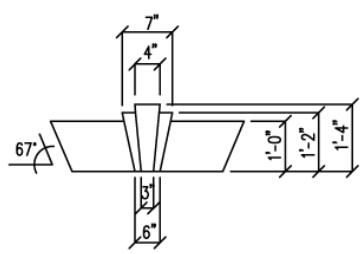
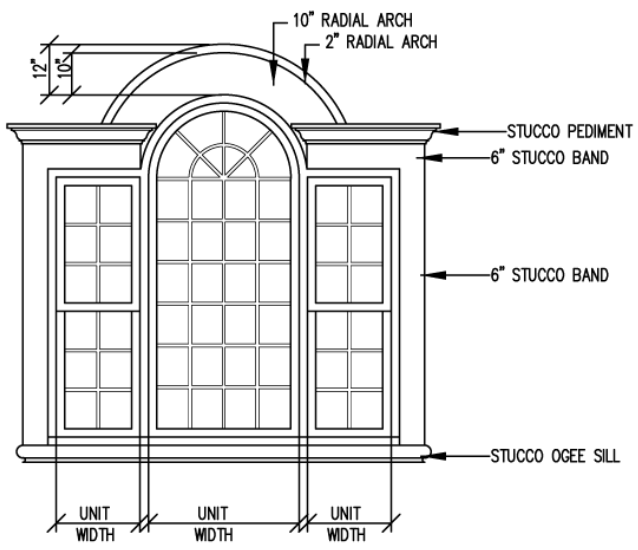
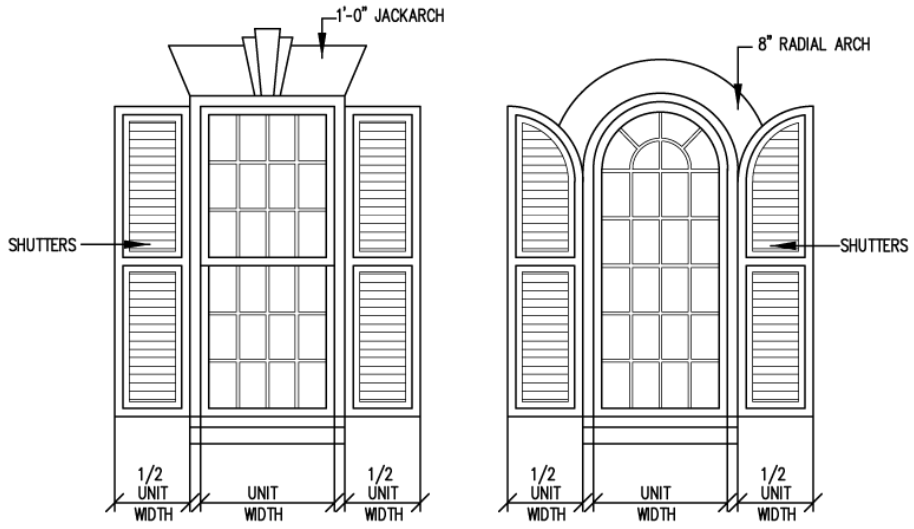
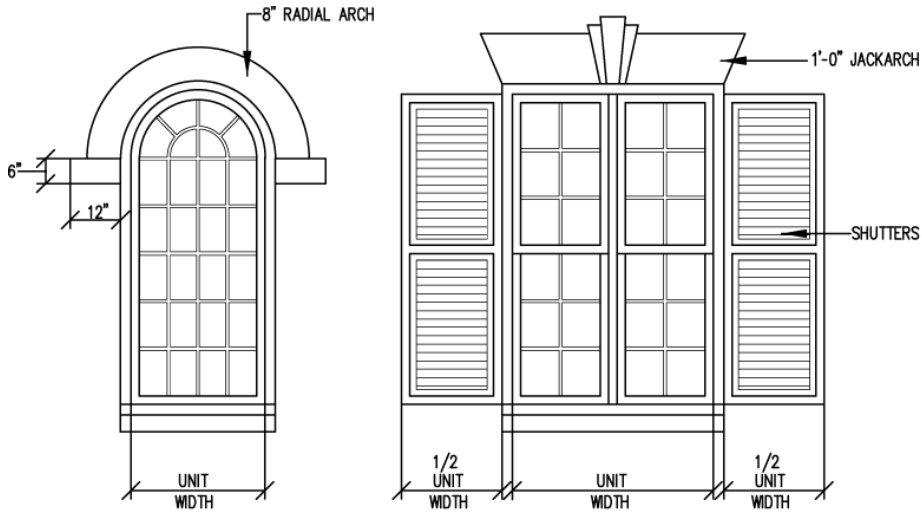
Architectural Standard Details



TYPICAL CHIMNEY DETAIL



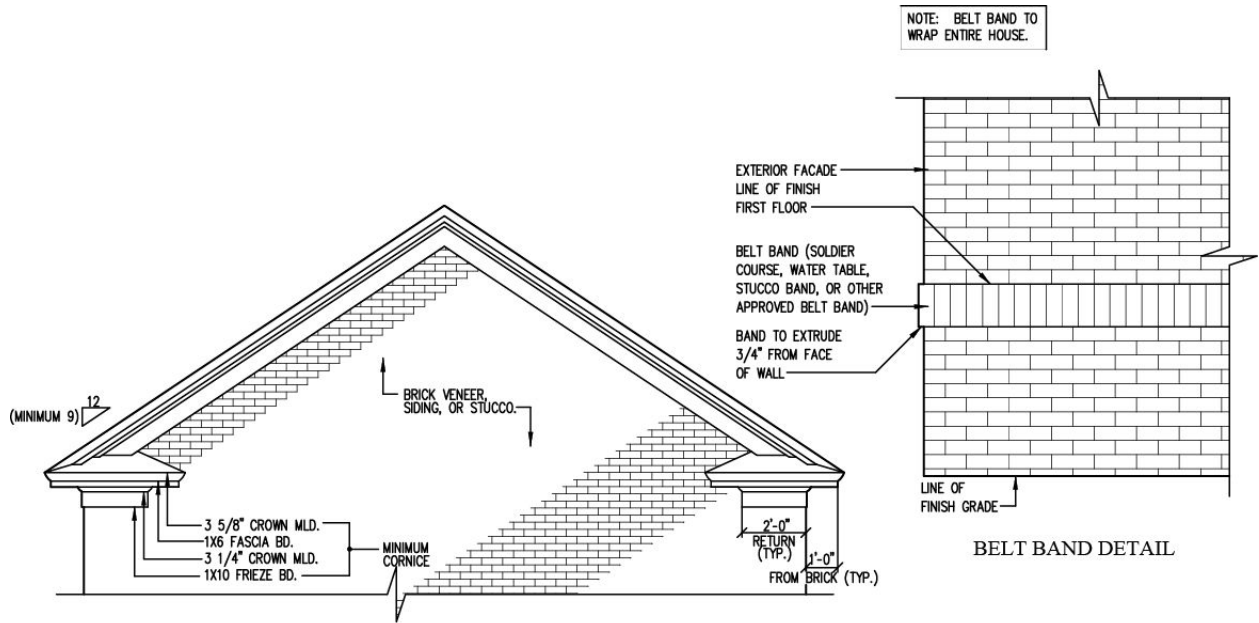
TYPICAL CHIMNEY DETAIL



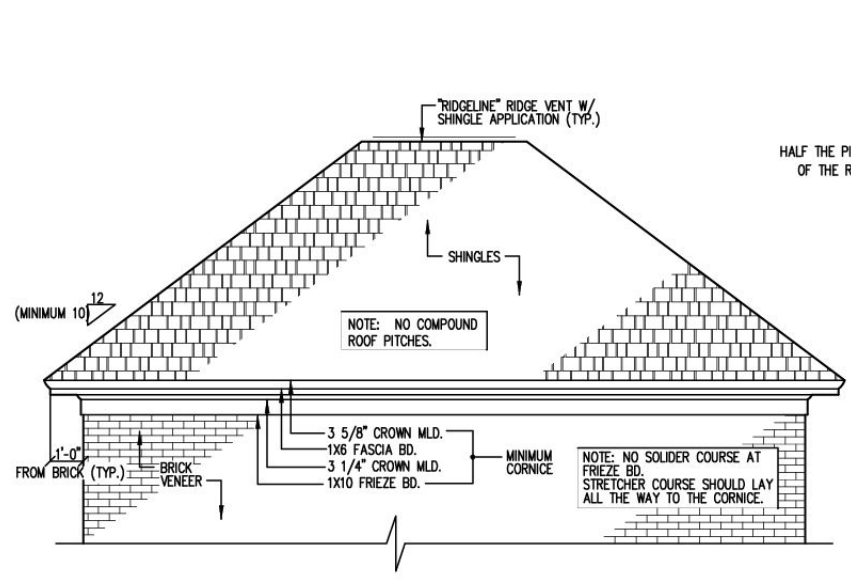
JACKARCH AND KEY DETAIL

- NOTES:
1. NO SHUTTERS ON TRIPLE WINDOW UNITS.
 2. IF THE WINDOW HAS STUCCO BANDS DOWN THE SIDE, THE SILL MUST BE STUCCO AS WELL.

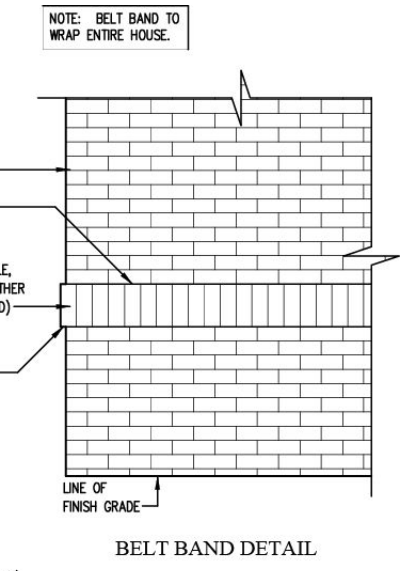
WINDOW DETAILS



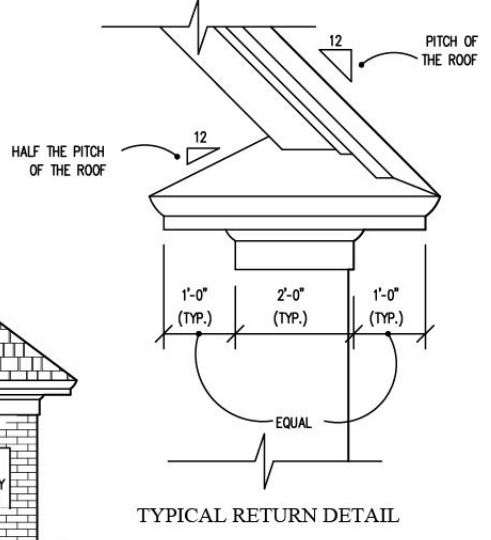
DETAIL AT GABLE ROOF
(PITCH, CORNICE, OVERHANG, ETC.)



DETAIL AT HIP ROOF
(PITCH, CORNICE, OVERHANG, ETC.)

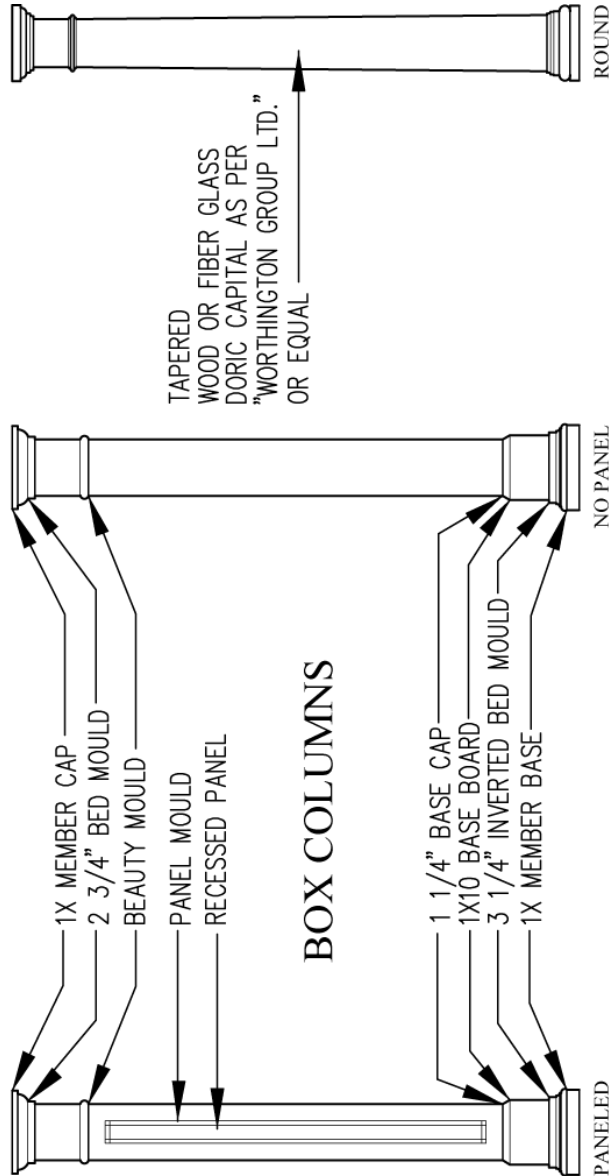


BELT BAND DETAIL



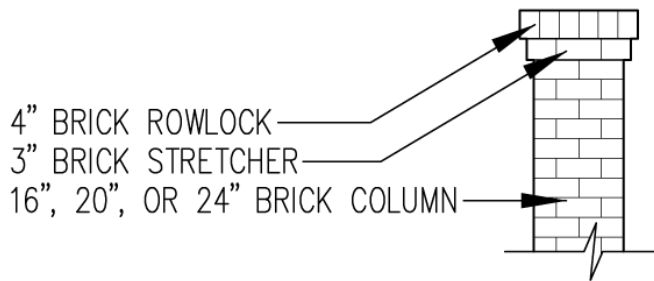
TYPICAL RETURN DETAIL

COLUMN DIAMETERS SHOULD BE PROPORTIONAL TO THEIR HEIGHT. THE DIAMETER SHOULD BE SPECIFIED ON THE PLANS. THE ARB SHALL DETERMINE APPROPRIATE DIAMETERS. MINIMUM DIAMETER IS 10".

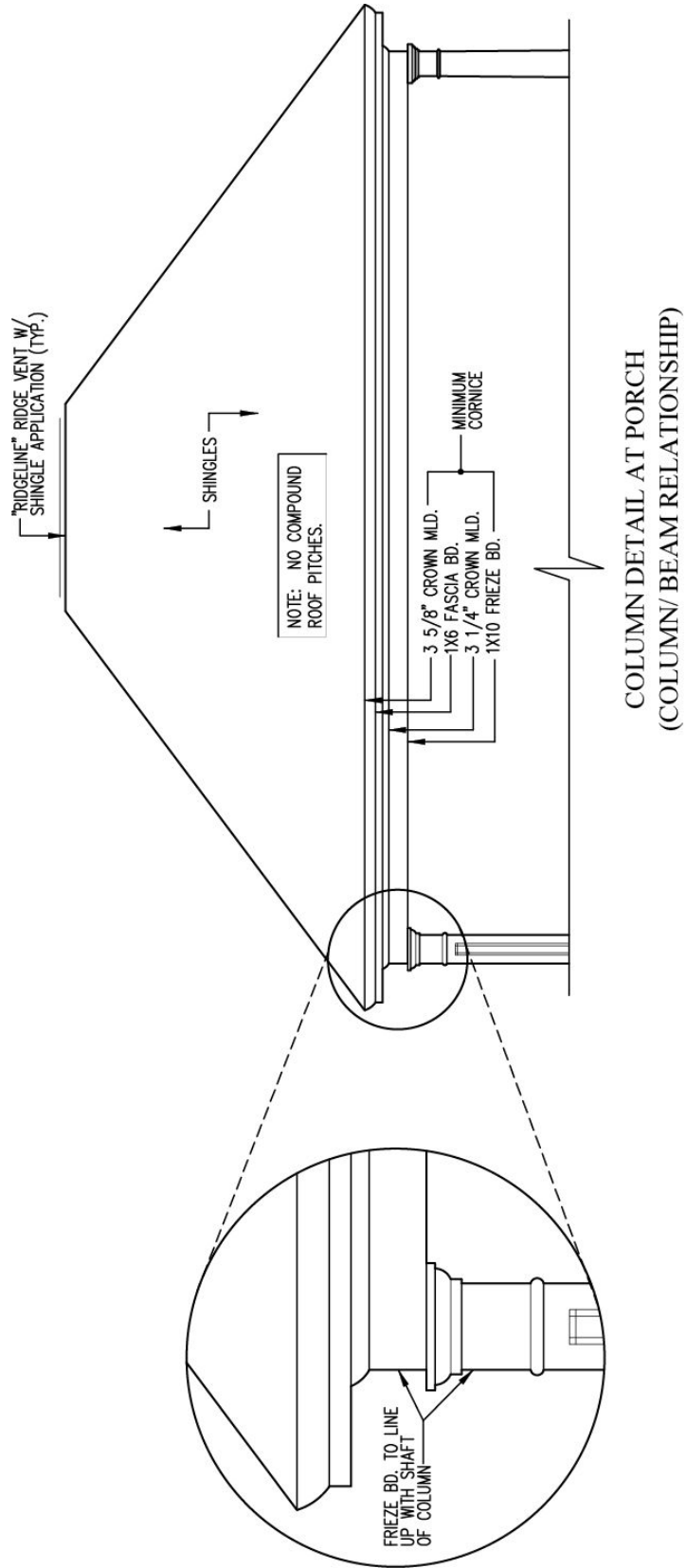


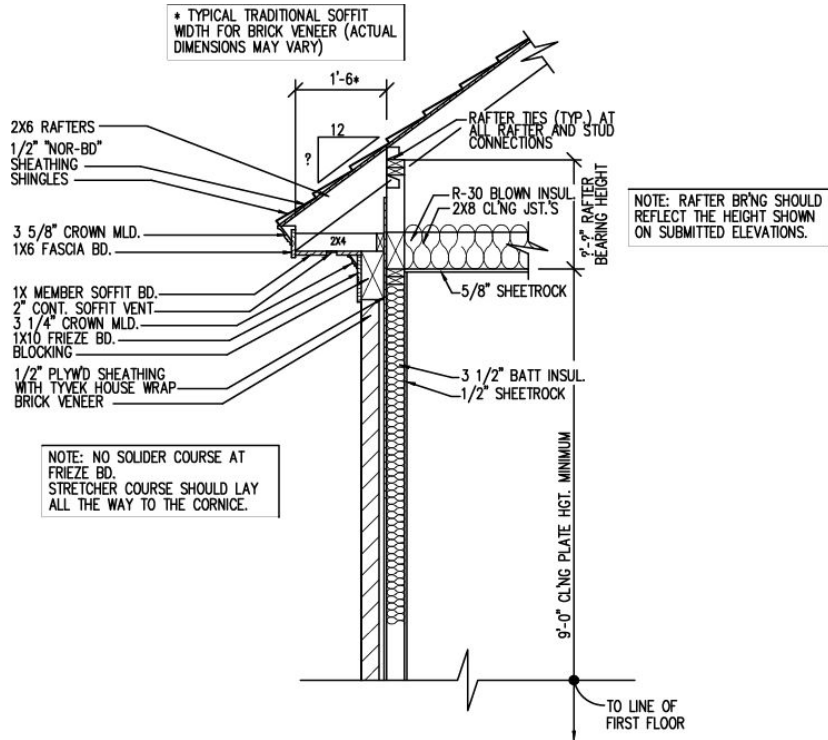
TAPERED
WOOD OR FIBER GLASS
DORIC CAPITAL AS PER
"WORTHINGTON GROUP LTD."
OR EQUAL

COLUMN DETAILS

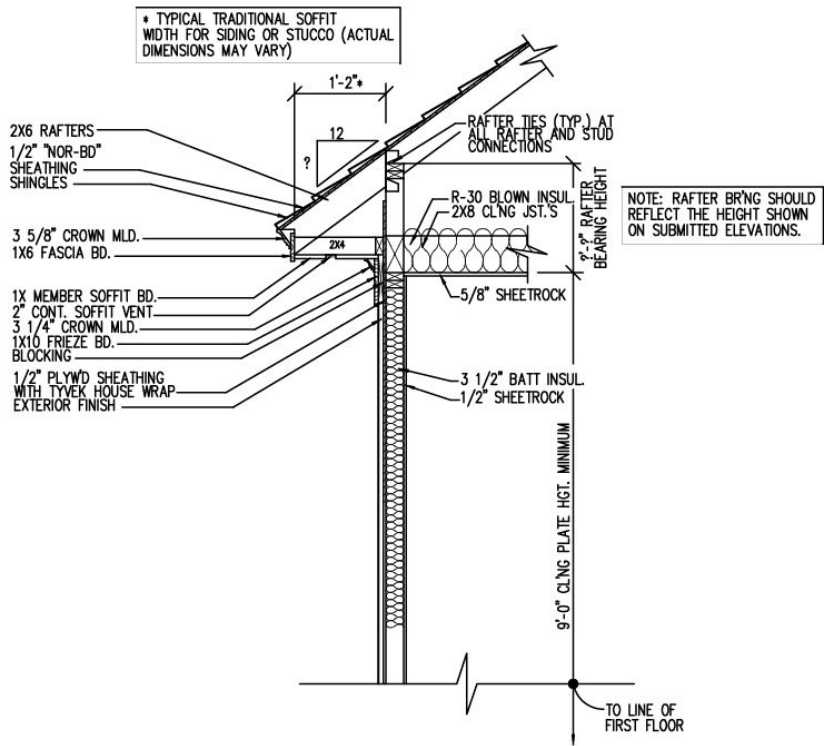


TYPICAL BRICK COLUMN



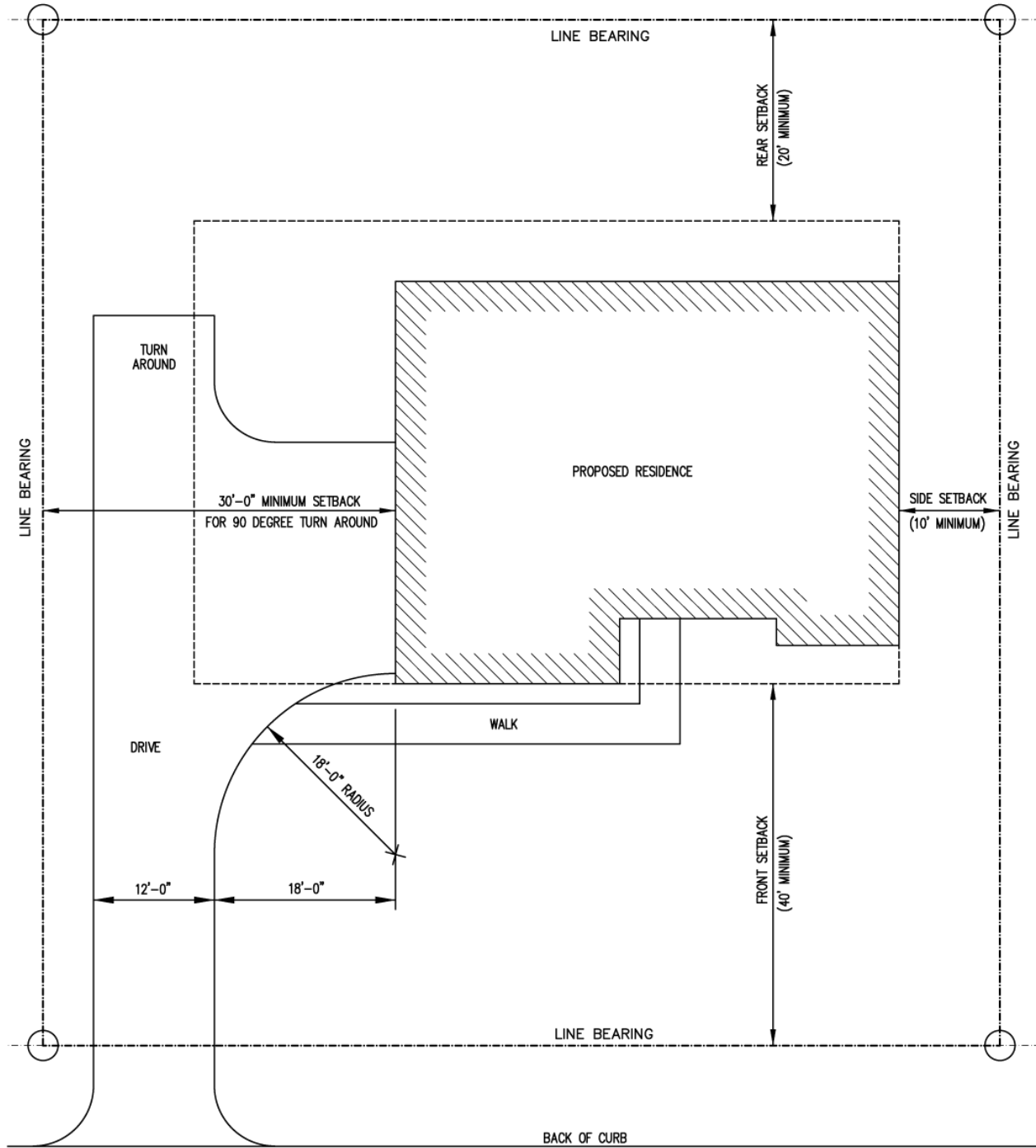


INFORMATION NEEDED ON BRICK WALL SECTION TYPICAL



INFORMATION NEEDED ON STUCCO OR SIDING WALL SECTION TYPICAL

LOT #



STREET NAME

TYPICAL SITE PLAN

Typical Landscaping Minimum Requirements

Landscape Criteria – Standard Lot

- A. 1 Major Hardwood tree (10'-12')
- B. 4 Corner Plantings (3 Gal.) that are 4'-6' Evergreen.
- C. 13 Foundation Plantings (3 Gal.) that are greater than 4' Evergreen
- D. 1 Corner Plant (7 Gal.) that is 8'-10' Evergreen
- E. Mulched areas to conform to natural setting.
- F. Front yard to be sodded, except at mulched areas.
- G. 3 (3 Gal.) Evergreens to screen A/C unit from street.
- H. Sod shall go to street in all cases.
- I. Manual/automatic irrigation to cover sodded areas but stub-out for future expansion.
 - Sodded areas should entail $\frac{3}{4}$ of front yard with pine straw using the remainder $\frac{1}{4}$.
 - Plantings are dependent upon architectural and topographical features.
 - Landscape contractor will make adjustments.
 - Final grade by builder's grading contractor.